

AGENDA FOR THE REGULAR MEETING PLAN COMMISSION/ZONING BOARD OF APPEALS OF THE VILLAGE OF CAMPTON HILLS

February 22, 2021 at 7:00 P.M.

Held Virtually over Zoom Due to COVID-19, no in person attendance.

Join Zoom Meeting: <https://zoom.us/j/92750913192>

Meeting ID: 927 5091 3192

Call in Number: +13126266799, 92750913192# US (Chicago)

1. CALL TO ORDER

2. ROLL CALL

3. VIRTUAL PUBLIC COMMENTS –

- a.) An individual may **E-mail** their Public Comment (including full name and question/comment) to rsearl@villageofcamptonhills.org **prior to 4:45 pm on 2-22-2021** Any Public comments emailed in prior to 5:45 p.m. will be read on the record by the Village Administrator, or Village Clerk, during this section of the Open Meeting.

OR

- b.) An individual can also participate during this section of the meeting by notifying the Meeting Host of their question/comment through the **“Raising Hand,” option within the Zoom platform.**
- First join the meeting, to be admitted.
 - Second, find the bottom toolbar option that says “Participants.” Click on **Participants**, which will then open a new window. **If it does not**, you can access this by pressing “Alt U,” on your keyboard as a shortcut.
 - Third, in that window, you will be able to see ALL participants in the live meeting. That window will also present 2-3 additional options, including one that reads, **“Raise Hand.”**
 - By clicking **“Raise Hand,”** the meeting host will be made aware that you would like to participate, as a blue hand will now appear by your name on the righthand side.
 - When it is your turn, the Host will unmute you, and ask you to present your full name and your question/comment to the Board.
 - When your time/question/comment is complete, **please remember to click the “Lower Hand,” option.** We thank you.

Please limit remarks to 3 minutes per person and do not repeat topics previously discussed; total time allotted is 30 minutes.

4. **Motion to Approve the Special Meeting Minutes from 10-22-2020, Regular Meeting Minutes from 1-25-2021, and Special Meeting Minutes from 2-8-2021.**
5. **Unfinished Business:**
 - a.) **Zoning Code Update**
 - i. **Discuss Draft Zoning Code Update Summary**
 - ii. **Recommendations to the Village Board**
 - b.) **Set Public Hearing Date – Tentative for Mid-April**
6. **New Business:**
 - a.) Motion to recommend approval of Kane County Application for Zoning Map Amendment and/or Special Use, relating to property at 41W481 Route 38, Elburn, IL. 60119
7. **REMINDER:**
 - a.) APA Training for Commission Members is scheduled for 3-3-2021 at 6:30, Virtually via Zoom.
 - b.) Next Regular Meeting is scheduled for Monday, March 22, 2021 at 7 p.m. over Zoom.
8. **ADJOURNMENT**

Mission Statement

Entrusted by its citizens, the Village of Campton Hills is dedicated to delivering municipal services in the most responsive, cost effective and efficient/proficient manner. Campton Hills is committed to upholding high quality of life standards by supporting its school districts, maintaining family values and agriculture traditions, preserving natural resources, encouraging environmental stewardship, supporting passive and active recreational opportunities, honoring rural heritage and generating a strong business foundation for present and future residents and visitors.

Vision Statement

Residents of the Village of Campton Hills wish to maintain the semi-rural quality of their environment and its associated lifestyle. They wish to control their own destiny, act so that property values increase over time at a greater rate than market averages and insure the continue excellence of the schools that educate their children.

The Village of Campton Hills will be an aesthetically appealing, fiscally viable, family-oriented community striving to provide excellent educational, social, recreational, and cultural opportunities. The Village will foster a strong residential and business community, with concern for ecological stewardship while cooperating with other governmental bodies and agencies. Campton Hills will also work with area school districts to provide an exceptional education for their children. Campton Hills will strive to be an inviting and safe community that provides for the quality of life needs of its residents while preserving its character and heritage.

This petition will be going before the Kane County Zoning Board of Appeals at its meeting scheduled for Tuesday, July 14, 2020. Please send any comments to our office by that afternoon to ensure they can be considered by the Board. This petition is tentatively scheduled to then go before the Kane County Development Committee on March 16, 2021 and the Kane County Board on April 13, 2021.

Thank you.

Hira Aamir

Kane County Development Department

Attn: Zoning

719 S. Batavia Avenue

Geneva, Illinois 60134

630-232-3494

aamirhira@co.kane.il.us

KANE COUNTY DEVELOPMENT DEPARTMENT
Zoning Division, Kane County Government Center
 719 S. Batavia Avenue
 Geneva, Illinois 60134
 Office (630) 444-1236 Fax: (630) 232-3411

Received Date

NOV 25 2020

Kane Co. Dev. Dept.
Zoning Division

**APPLICATION FOR ZONING MAP AMENDMENT
AND/OR SPECIAL USE**

Instructions:

To request a map amendment (rezoning) for a property, complete this application and submit it with all required attachments to the Subdivision and Zoning Division.

When the application is complete, we will begin the review process.

The information you provide must be complete and accurate. If you have a question please call the subdivision and zoning division, and we will be happy to assist you.

1. Property Information:	Parcel Number (s): 08-34-200-024
	Street Address (or common location if no address is assigned): 41W481 RTE 38 ELBURN, IL. 60119

2. Applicant Information:	Name KENNETH R JOHNSON	Phone [REDACTED]
	Address 41W481 RTE 38	Fax 630-443-0475
	ELBURN, IL. 60119	Email sales@suburban-lawn.com

3. Owner of record information:	Name OLD OAK, LLC	Phone [REDACTED]
	Address 41W481 RTE 38	Fax 630-443-0475
	ELBURN, IL. 60119	Email sales@suburban-lawn.com

Zoning and Use Information:

2040 Plan Land Use Designation of the property: Countryside Estate Res.

Current zoning of the property: F-2 Agricultural Business

Current use of the property: Retail Nursery/Landscape Construction

Proposed zoning of the property: 5 year Interim Special use

Proposed use of the property: In addition to present use, to provide outdoor storage of RV's, Campers, Boats & Etc.

If the proposed Map Amendment is approved, what improvements or construction is planned? (An accurate site plan may be required)

None required, parking area for proposed storage area.. Is an existing storage area, which is surplus part of the nursery/landscape storage area.

Attachment Checklist

- Plat of Survey prepared by an Illinois Registered Land Surveyor.
- Legal description
- Completed Land Use Opinion (Available in pdf form at www.kanedupageswed.org/luo.pdf), as required by state law, mailed to: The Kane Dupage Soil and Water Conservation District, 545 S. Randall Road, St. Charles, IL 60174.
- Endangered Species Consultation Agency Action Report (available in pdf form at <http://dnr.illinois.gov/ecopublic/>) to be filed with the Illinois Department of Natural Resources. (* This report may best be accessed with Internet Explorer on some computers, per the State)
- List of record owners of all property within 250 feet of the subject property
- Trust Disclosure (If applicable)
- Findings of Fact Sheet
- Application fee (make check payable to Kane County Development Department)

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Kenneth R. Johnson / Old Oak LLC 11-12-20
Record Owner Date

Kenneth R. Johnson / Old Oak LLC 11-12-20
Applicant or Authorized Agent Date

Findings of Fact Sheet – Map Amendment and/or Special Use

- *The Kane County Zoning Board is required to make findings of fact when considering a rezoning. (map amendment)*
- *You should "make your case" by explaining specifically how your proposed rezoning relates to each of the following factors.*

11/13/2020

OLD OAK, LLC

Name of Development/Applicant

Date

1. How does your proposed use relate to the existing uses of property within the general area of the property in question?

With our existing F-2 zoning, it allows for a farm equipment dealership and the storage of new and used equipment, trailers, farm wagons and related. So storage is very related

2. What are the zoning classifications of properties in the general area of the property in question?

F zoning

3. How does the suitability of the property in question relate to the uses permitted under the existing zoning classification?

It is very similar for the proposed special use, in that the entire property was engineered for commercial use. The retention area provided was larger than required water storage volume.

4. What is the trend of development, if any, in the general area of the property in question?

The area is F zoning and is similar in use.

5. How does the projected use of the property, relate to the Kane County 2040 Land Use Plan?

Our present F-2 zoning, and the proposed use is very similar as it related to equipment storage.

Findings of Fact Sheet – Special Use

To allow Outdoor Storage
of RVs, Campers & Etc.
Special Use Request

10/10/2012

Date

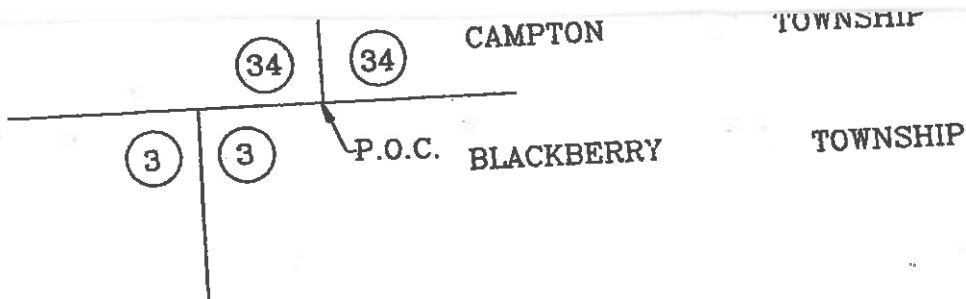
- *The Kane County Zoning Board is required to make findings of fact when considering a special use.*
 - *Special Uses shall be considered at a public hearing before the Zoning Board of Appeals. In its report of findings of facts, recommendations shall be made to the County Board following the public hearing. The Zoning Board will not recommend a special use unless the following items are addressed:*
6. Explain how the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- The proposed rear area of the property, is being used in a similar storage area for nursery products and equipment storage, this would have very little effect*
-
-
7. Explain how the special use will not be injurious to the use, enjoyment and value of other property in the immediate vicinity.
- The proposed storage area is well screened by large evergreens as shown in pictures provided.*
-
- The proposed outdoor storage is very similar to present use of the F-2 zoning.*
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-
8. Explain how the special use will not impede the normal, orderly development and improvement of the surrounding property.
- The special use, does not change how the property was engineered, or does not change, as it is very similar to its present use.*
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-
-
9. Will adequate utility, access roads, drainage and other necessary facilities be provided? Please explain:
- The entire property was developed and engineered to Kane County's requirements. The engineering drawing is attached, no changes are required to these drawings, for the special use.*
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-
-

10. Will adequate measures be provided for ingress and egress and so designed to minimize the traffic and congestion? Please explain:

Yes, as the site was originally developed for a larger retail nursery. The volume of traffic is much less than the original F-2 intent. The addition of the special use. Outdoor storage will create little change from the existing use.

11. Will the special use conform to the regulations of the district in which it is located? Please explain:

Yes, presently have F-2 zoning, which allows for a Farm Dealership and the related equipment storage of AG related storage of new and used farm equipment. We used the area for our landscape & nursery business as it was originally intended for outdoor storage



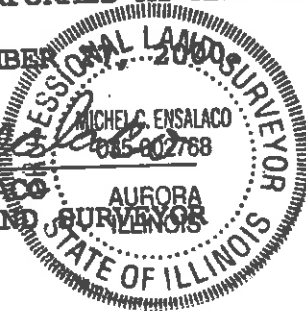
LEGAL DESCRIPTION:
 THAT PART OF THE EAST HALF OF SECTION 34 TOWNSHIP 40 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 34; THENCE NORTHERLY ALONG THE WEST LINE OF SAID EAST HALF 1114.68 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTHERLY ALONG SAID WEST LINE 1012.00 FEET TO THE SOUTHERLY LINE OF ILLINOIS STATE ROUTE 38, BEING 60.0 FEET SOUTHERLY OF THE CENTER LINE OF FEDERAL AID ROUTE 7 (MEASURED RADIAL AND AT RIGHT ANGLES THERETO); THENCE EASTERLY ALONG SAID SOUTHERLY LINE 304.24 FEET; THENCE SOUTHERLY PARALLEL TO THE WEST LINE OF SAID EAST HALF 999.18 FEET; THENCE WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED COURSE 302.92 FEET TO THE POINT OF BEGINNING IN THE TOWNSHIP OF CAMPTON KANE COUNTY, ILLINOIS. CONTAINING 7.00 ACRES.

STATE OF ILLINOIS)
)
 COUNTY OF KANE)

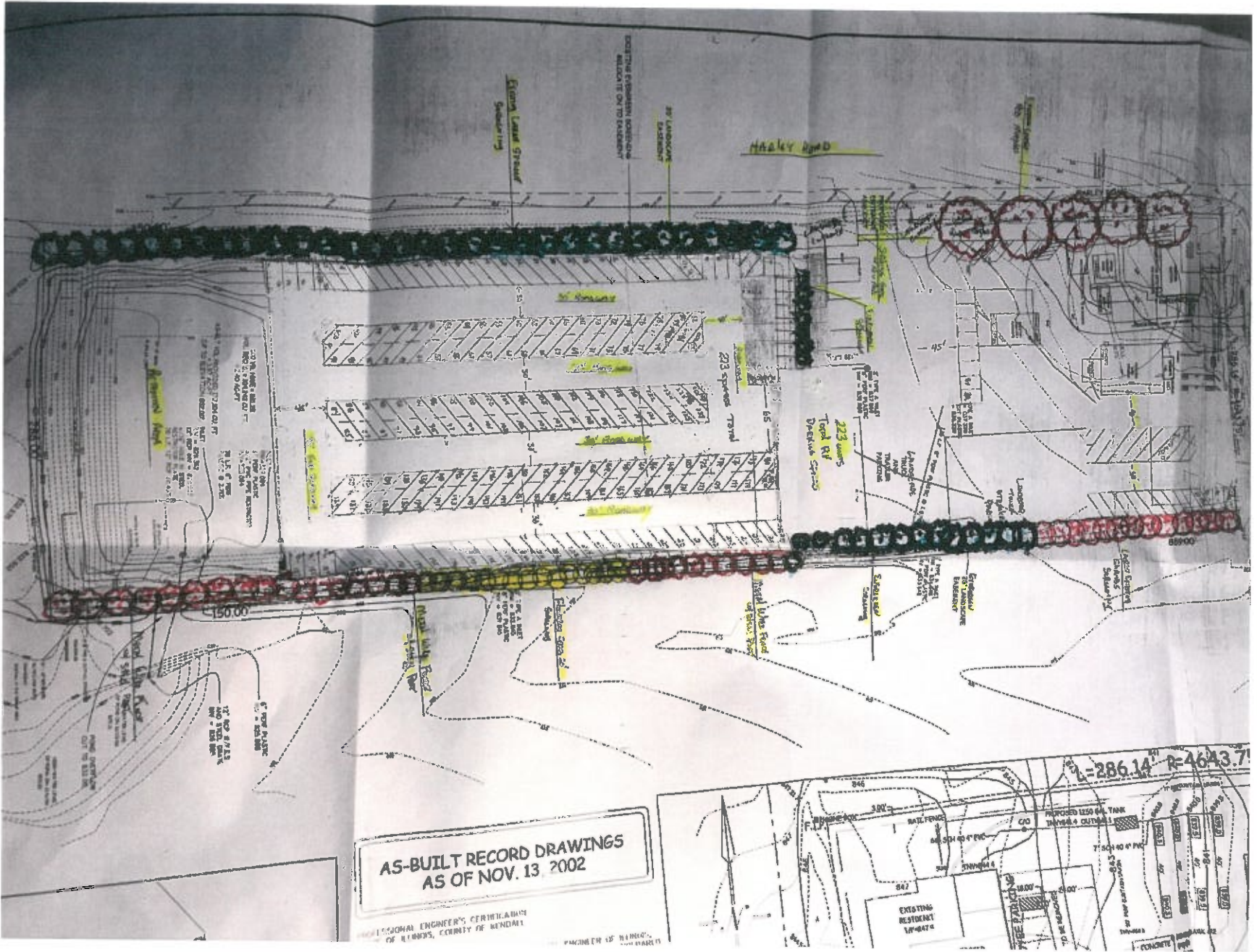
I, MICHEL C. ENSALACO, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED AT AND UNDER MY DIRECTION.

DATED AT AURORA, ILLINOIS ON DECEMBER 20, 2000

Michel C. Ensalaco
 MICHEL C. ENSALACO
 ILLINOIS PROFESSIONAL LAND SURVEYOR
 NO. 2768
 AURORA
 ILLINOIS



Rev. Date	Rev. Description
Book Number:	NB
Drawn By:	TLC
Reference:	
Project Number:	



AS-BUILT RECORD DRAWINGS
AS OF NOV. 13, 2002

PROFESSIONAL ENGINEER'S CERTIFICATION
OF RECORDS, COUNTY OF KENDALL

PROJECT NO. 15

L=286.14' R=4643.7'

EXISTING RESTAURANT

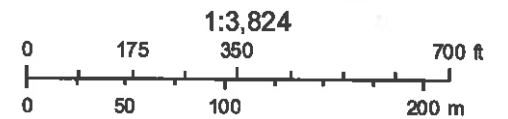
PROPOSED 150 GAL TANK

CONCRETE

Map Title



January 29, 2021



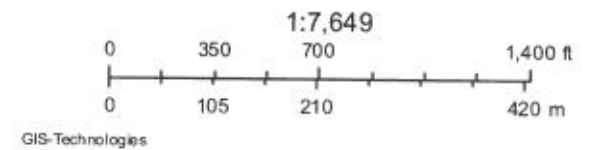
These layers do not represent a survey. No Accuracy is assumed for the data delineated herein, either expressed or implied by Kane County or its employees. These layers are compiled from official records, including plats, surveys, recorded deeds, and contracts, and only contains information required for local government purposes. See the recorded documents for more detailed legal information.

GIS-Technologies
Kane County Illinois

Map Title



January 29, 2021



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GIS Technologies
Kane County Illinois