



40W270 LaFox Road, Suite B
CAMPTON HILLS, IL 60175
Office: 630-584-5700
Fax: 630-584-5775
www.villageofcamptonhills.org

RESIDENTIAL DECKS INFORMATION PACKET

**THIS PACKET CONTAINS INFORMATION REGARDING ITEMS THAT NEED
TO BE SUBMITTED AT THE TIME OF APPLICATION FOR A RESIDENTIAL
DECK AND OTHER RELATED INFORMATION**

REQUIRED SUBMITTALS AT TIME OF APPLICATION:

- Building Permit Application
- 2 Complete sets of building plans
- 2 Copies of a Site Plan drawn to scale -11x17 or greater to show proposed construction

GENERAL INFORMATION

- Fees are \$200.00 Deposit plus inspection fees if any.

ADDITIONAL INFORMATION FOR YOUR REFERENCE (enclosed):

- Site Plan Requirements
- Building and Zoning Rules and Regulations
- Wood Patio Deck Plan Requirements
- Residential Design Criteria
- Deck Construction Examples
- Building Plan Revisions

NOTE: Copies of the Building Regulations are available upon request

RESIDENTIAL SITE PLAN REQUIREMENTS

TWO (2) COPIES OF A CURRENT PLAT OF SURVEY SHOWING PROPOSED CONSTRUCTION OR SITE PLAN DRAWN TO SCALE

- Required with application for permits for any new construction and additions.
(New residences, additions, detached accessory buildings, sheds, pools, decks and fences)
- Plat of survey must be a complete legible copy, drawn at a readable scale (1:10 to 1:30), and include the legal description as well as the surveyor's name and date of survey. A site plan drawn to scale or a reproduction of a plat of survey is acceptable if it includes the surveyor's name, date of survey and includes all easements and other information from the original plat of survey.
- Site Plans drawn at a small scale (1:30 or greater) may be required to show areas at a larger scale in order for the level of detail to be legible.
- Site Plan must include all existing and proposed buildings, driveways, improvements and easements.*
- Proposed new construction must be drawn to scale, list exterior dimensions of proposed new construction and indicate dimensions from property lines.
- Location of existing well and septic system must be shown.
- The site plan copies must be separate from any building plans.

* For parcels that contain any areas in a flood plain may require Village Engineer review.

BUILDING AND ZONING SETBACKS AND REGULATIONS

A. NEW SINGLE FAMILY RESIDENCES – SETBACKS

1. Distance required from any road right-of-way is thirty-five (35) feet unless stipulated greater on zoning map or recorded plat. Some exceptions may exist in older neighborhoods.
2. Distance required from side and back lot lines is ten (10) feet and three (3) feet from any easement. Lots on record of fifty (50) feet or less in width; the distance required from side lot lines is five (5) feet.
3. Distance from a house to well is ten (10) feet from any perimeter drain (footing tile)

B. ADDITIONS TO SINGLE FAMILY RESIDENCES

1. Lot line setbacks apply as stated above.
2. Distance from septic field or well – ten (10) feet. Distance from septic tank – five (5) feet.

C. DECKS

1. Decks and Patios not over three (3) feet above grade and not roofed over may encroach into a setback area, but must stay three (3) feet from any easement.

D. INGROUND POOLS/ABOVE GROUND POOLS

1. Lot line setbacks apply as stated in A, B, & C above.
2. Distance from septic tank, field and well– twenty-five (25) feet (Inground Pool) and ten (10) feet (Above Ground Pool).
3. Every person owning land on which there is situated a swimming pool shall erect and maintain adequate enclosure surrounding the property or pool area. Such enclosure must not be less than four (4) feet high with latching gate.
4. IF ABOVE GROUND POOL sides are four (4) feet high and NOT dug into the ground - a fence is not required; however, stairs need to be pulled up when not in use.

E. ACCESSORY BUILDINGS (DETACHED GARAGES/SHEDS/ BARN)

1. ZONING RESTRICTIONS

1. No more than two (2) detached buildings accessory to a residence are permitted.
2. On lots of two (2) acres or less in size, the detached accessory buildings or structures shall not exceed a combined total of nine hundred (900) square feet in total floor area under roof.
3. On lots greater than two (2) acres in size, but less than five (5) acres in size, the detached buildings or structures shall not exceed a combined total of one thousand eight hundred (1,800) square feet in total floor area under roof.
4. On lots of five (5) acres or larger in size, the detached accessory buildings or structures shall not exceed a combined total of two thousand eight hundred, eighty (2,880) square feet in total floor area under roof.
5. No accessory or incidental building or structure may be constructed on any lot prior to the time of construction of the principal building to which it is accessory.

2. SETBACKS

1. Distance required from any road right-of-way is thirty-five (35) feet unless stipulated greater on zoning map or recorded plat.
2. Side and Back Lot Lines
 - a. Distance required from side and back lot line is ten (10) feet and three (3) feet from any easement.
 - b. Lots of fifty (50) feet or less in width requires a distance from side lot lines of five (5) feet and three (3) feet from any easement.
3. Agricultural animals must be housed and yarded no closer than one hundred (100) feet from any residence other than that of the owner or user of the property.
4. Distance from any accessory structure to a well is ten (10) feet from any perimeter drain (footing tile).

F. FENCES

1. All fences require a building permit
2. A fence can be placed up to the lot line with the front side facing either direction. Six (6) foot height limit. Fences placed in drainage or other recorded easements shall not block or alter drainage and are governed by the recorded restrictive language of the easement. See fence and wall ordinance number O-09-31.

Zoning Ordinance: Sec. 7.5-3

1. Within one hundred feet (100) of the center line of any intersecting road, street, railroad at grade, no fence or hedge which cannot be viewed through or over from a three foot (3') height above the traveled roadway shall be constructed, planted, or allowed to grow nearer to the road or street center line than the dimensions set in forth in Sec. 7.5-2.
2. No fence equipped with or having barbed wire, spikes or any similar device, or any electrically charged fence, sufficient to cause shock, shall be erected, placed or maintained on or within any lot used for residential purposes.

WOOD PATIO DECK PLAN REQUIREMENTS

1. Two (2) sets of the building plans, drawn at 1/4" to 1'-0 scale.
2. The building plans must show the following:
 1. The overall size of the deck features in plan view.
 2. The locations with dimensions of all piers, beams, stairs and the direction of joists.
 3. The minimum pier footing is 8" thick and 12" diameter. Required deck pier footing depths are 42" for structures with frost footings and 24" deep for free standing decks (decks not attached to house).
 4. The loading on the deck is 40# live and 10# dead load for each square foot of deck surface including the stairs. Specify the soil pounds per square foot bearing capacity at the building site or a 3000-pound per square foot minimum soil pressure will be assumed. Design the pier sizes and locations to support the imposed loads.
 5. Show the grade, species and size of the lumber used. The lumber must be rot resistant or a treated material.
 6. Raised floor areas a total of 30 inches above the ground shall have guardrails. The minimum height of platform guardrails shall be 36 inches and railings on open side of stairs shall be 34" to 38". Open side of stairs with a total rise of less than 30" require a handrail only.
 7. Guardrail opening limitations will not allow passage of a 4" diameter sphere.
 8. The ledger board must be attached directly to the structures wood, steel framing or concrete foundation by a bolted connection. Decks attached to "new" structures will require machine bolts with washers. On older structures where machine bolts cannot be use lag bolts with washers may be approved. Concrete anchors must be a minimum of six (6) inches in length.

Ledger boards are prohibited from attachment thru siding.

Ledger board attachment thru any stone veneer must be designed by an Illinois registered structural engineer or architect.

Provide continuous flashing, with drip edge, over the ledger board.
 9. Minimum fastener size for bolts is 1/2" diameter with washers under the bolt head and nut. All attachments must be to structural members only.
 10. If you are building a multilevel deck configuration show the decks in "plan view" marked; upper deck, lower deck, etc. and a section thru each level step-up to show the construction.
 11. Post-base anchors are required for all posts or beams "setting-on" any type of foundation system.

Exception: Post "setting-on" footings 42" or more below grade.
12. Show the distance of the deck floor is above the ground.
13. "Ready-mix" concrete is required, no "dry-mix" dumped into the footings.

WOOD PATIO DECK PLAN REQUIREMENTS

14. Handrail grip-size R311.5.6.3 IRC code section "Means of Egress" shall apply to exterior decks.

Grip sizes: Type I: 1-1/4" to 2" Dia. Or Type II: 1-1/4" to 2-3 /4" grip width above the grip recess.

Grip Recess: See code for the size and location.

15. Open and closed riser stairs, show what type to be used follow R311.5.3.3 "Profile" Open rise are permitted, provided that the opening between treads does not permit the passage of a 4" sphere

RESIDENTIAL DESIGN CRITERIA

Include this information on building plans

FLOOR 40# LL 10# DL ALL AREAS EXCEPT SLEEPING
FLOOR 30# LL 10# DL SLEEPING AREAS
WALLS 60# PLF OR ACTUAL
CEILINGS 20# LL 10# DL
10# LL 5# DL ROOF SLOPES NOT OVER 3 IN 12
ROOF 30# LL 10# DL
CATHEDRAL 30# LL 15# DL
EXT. DECKS 40# LL 10# DL
EXT. BALCONY 60# LL 10# DL

FRAMING LUMBER

(FLOOR JOISTS, CEILINGS JOISTS, RAFTERS, HEADERS AND BEAMS)

GRADE _____ SPECIES _____ DOMESTIC OR CANADIAN BASE FB = _____
(CIRCLE ONE)

SOUTHERN PINE OR MIXED SOUTHERN PINE LUMBER

GRADE _____ SPECIES _____
PRESSURE TREATED: YES OR NO

ENGINEERED WOOD PRODUCT

(BEAMS & GIRDERS)

MANUFACTURER _____ PRODUCT TYPE _____
(LVL, PSL, LSL, GLU-LAM)
SIZE _____ FB= _____ E= _____
PRESSURE TREATED: YES OR NO

ENGINEERED WOOD PRODUCT

(I-JOIST)

MANUFACTURER _____ SERIES# _____ SIZE _____

ENGINEERED WOOD PRODUCT

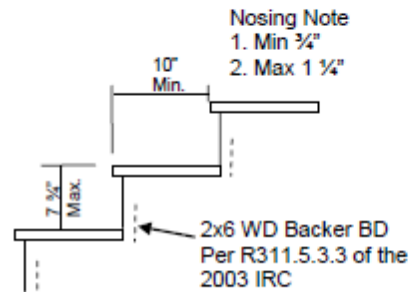
(STUDS & COLUMNS)

MANUFACTURER _____ PRODUCT TYPE _____
PRESSURE TREATED: YES OR NO

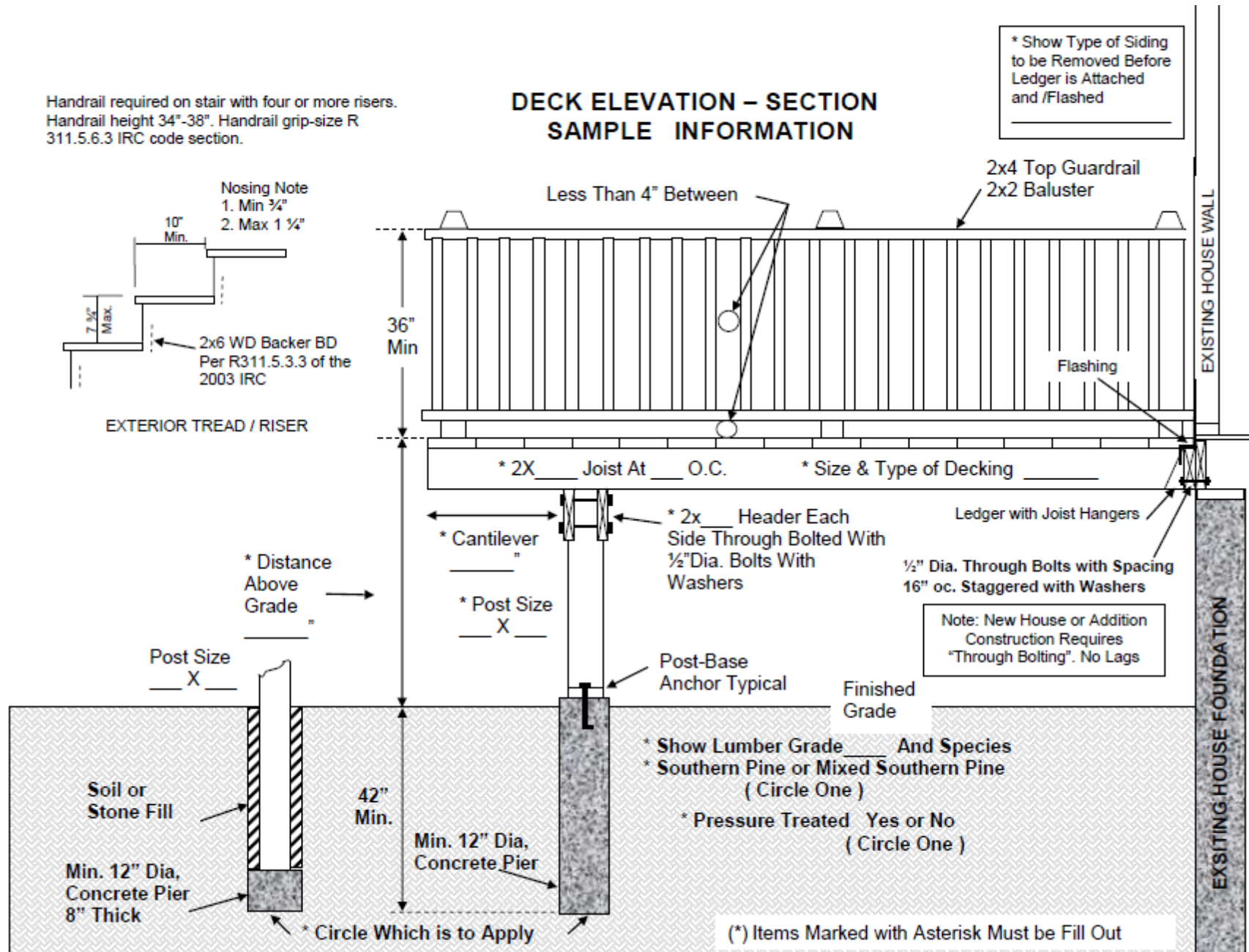
Handrail required on stair with four or more risers.
 Handrail height 34"-38". Handrail grip-size R
 311.5.6.3 IRC code section.

DECK ELEVATION - SECTION SAMPLE INFORMATION

* Show Type of Siding
 to be Removed Before
 Ledger is Attached
 and /Flashed



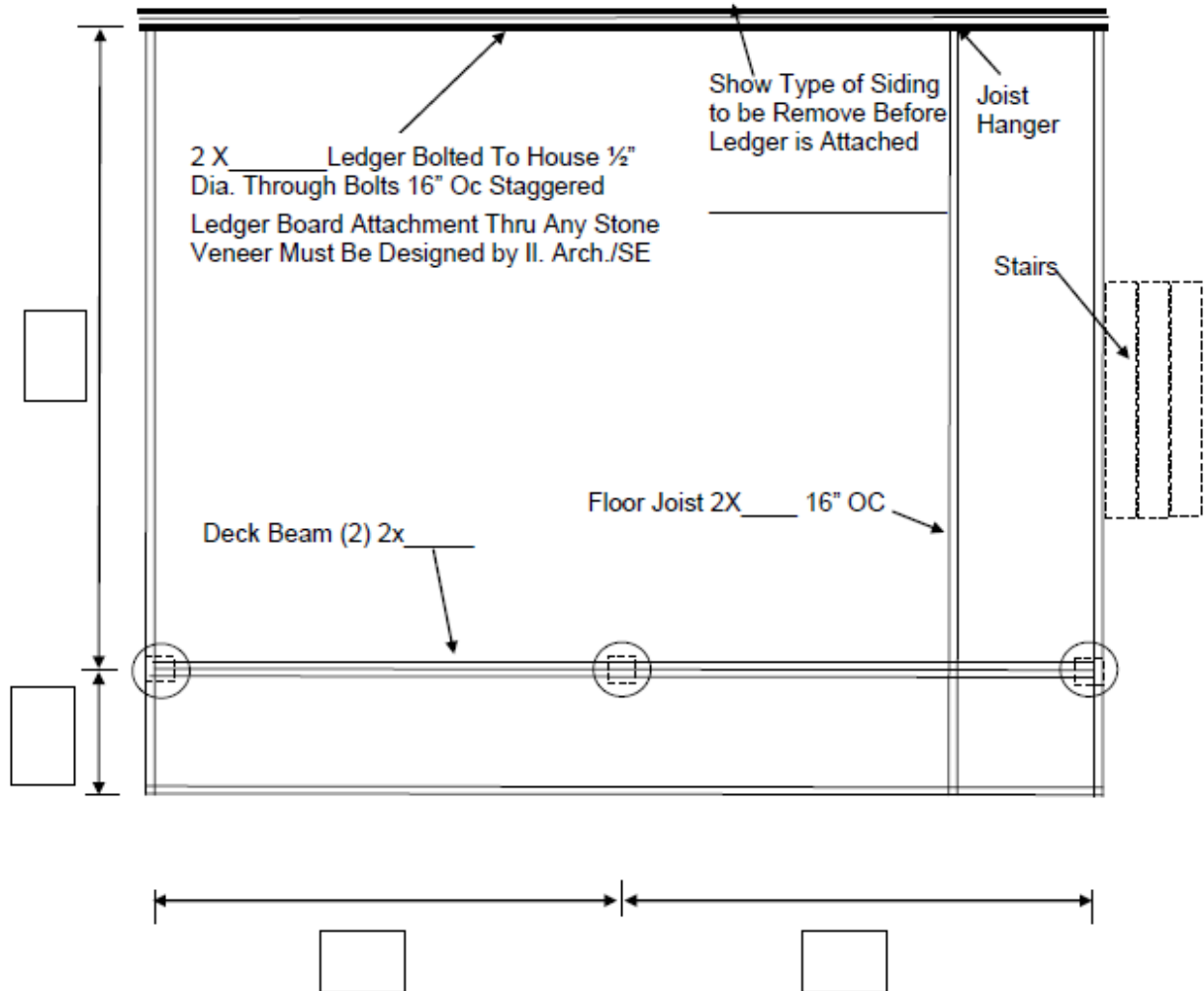
EXTERIOR TREAD / RISER



Single Beam Deck Foundation Plan: Example Only

HOUSE

Remove siding before installing Ledger Boards. Provide Continuous Flashing With Drip Edge Over The Ledger Board



Show Additional Piers with Dimensions
Between Piers
Show Additional Beam Lines if Used with
Dimension Between Beams

Show Dimension Between
All Piers
Pier Size Minimum 12" Dia.
42" In Depth

Deck Framing Materials

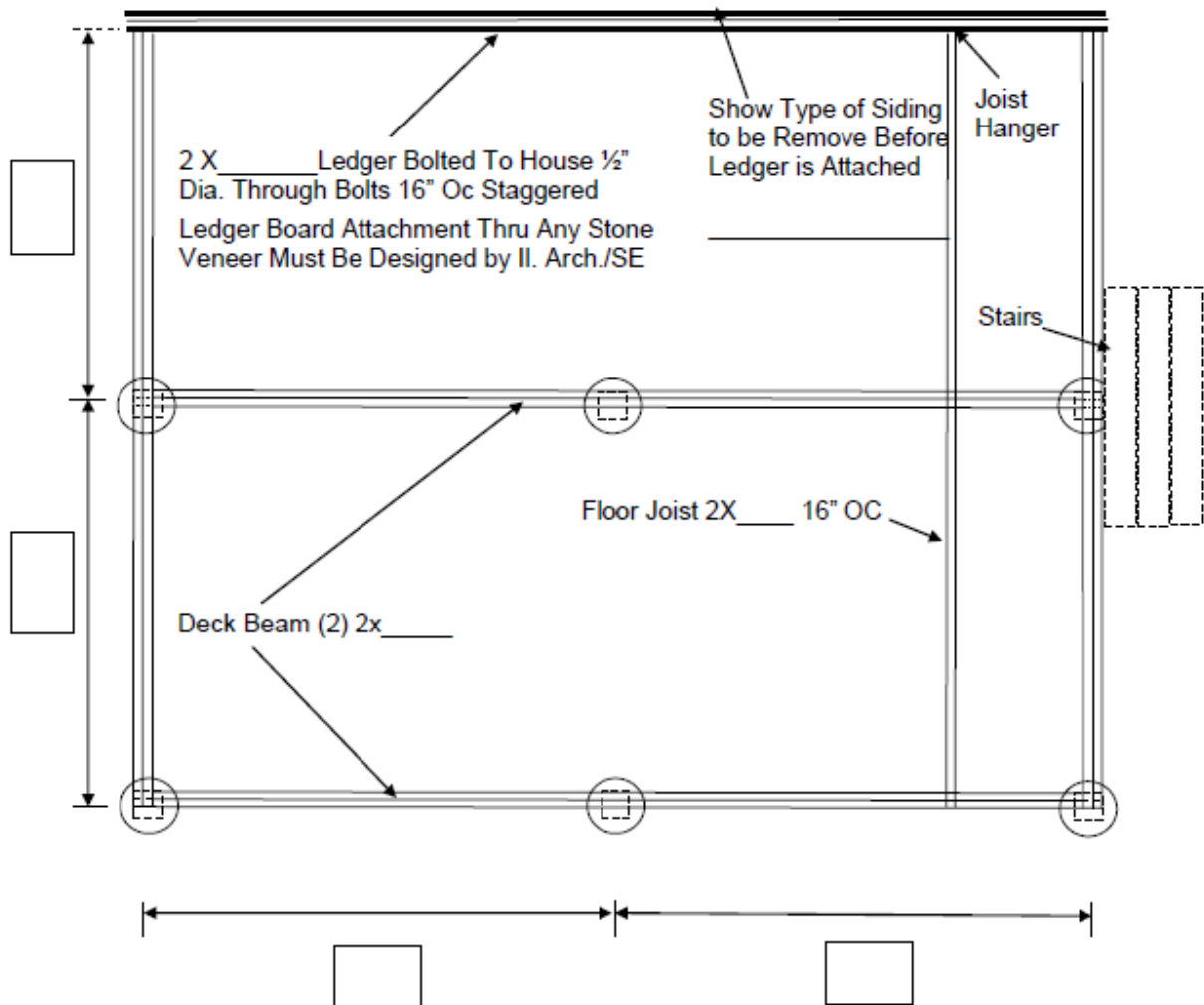
Show Lumber Grade _____
Lumber Species – Southern Pine
or Mixed Southern Pine
(Circle One)

Lumber to be Pressure Treated –
Yes or No (Circle One)

Double Beam Deck Foundation Plan: Example Only

HOUSE

Remove siding before installing Ledger Boards. Provide Continuous Flashing With Drip Edge Over The Ledger Board



Show Additional Piers with Dimensions
Between Piers
Show Additional Beam Lines if Used with
Dimension Between Beams
Show Dimension Between
All Piers
Pier Size Minimum 12" Dia.
42" In Depth

Deck Framing Materials

Show Lumber Grade _____
Lumber Species – Southern Pine
or Mixed Southern Pine
(Circle One)

Lumber to be Pressure Treated –
Yes or No (Circle One)

BUILDING PLAN REVISIONS


TO AVOID POSSIBLE DELAYS IN APPROVAL OF YOUR PLANS PLEASE FOLLOW THESE PROCEDURES, ALL CORRECTIONS AND REVISIONS MUST BE MADE IN RED.

1. The Village of Campton Hills, Building and Zoning Department must approve **ALL** revisions to approved building plans.

2. **FOR ALL REVISIONS:** (during application review process and after permit is issued)

Revisions may be made on the original submitted plan sets. If "new drawings" are submitted the originally submitted plan marked "permit copy" must be returned with two new plan sets.

- a. Each revision set must be identified by a "revision #, item #" and date. The revision numbers must be sequential and have a "cloud" drawn around it and an "item number triangle" to call attention to its location on the plan, e.g. "First Revision" 1.1, 1.2, 1.3, etc., 6/18/12, "Second Revision" 2.1, 2.2, 2.3, etc., 7/10/12

Examples: 

- b. Revisions in response to a Plan Review or Field Inspection Report must be added to the proper locations on the plans and correlated to the plan review or field inspection report.
- c. Revisions to plans sealed by an Illinois licensed architect or Illinois structural engineer must be approved and added to the plans by that same professional.
- d. Revisions prepared by an Illinois licensed architect or Illinois structural engineer must have their initials at each revision and be accompanied by two sealed copies of an approval letter confirming the added revisions.
- e. New building plans may be required for plans that have extensive changes and/or are in a unreadable condition or damaged beyond reasonable repair, as determined by the Building Division.
- f. No faxed or mailed revisions will be accepted.

3. **FOR REVISIONS TO APPROVED PERMIT PLANS:**

- a. A \$50.00 minimum re-examination fee will be charged plus other fees e.g. "additional square footage."
- b. The approved Permit Copy plan set must accompany all proposed revisions.
- c. Submit all revisions for approval one week prior to any scheduled inspections. The Building Department cannot assure "on the spot" review of revisions. Major revisions may require review by other Village departments.